

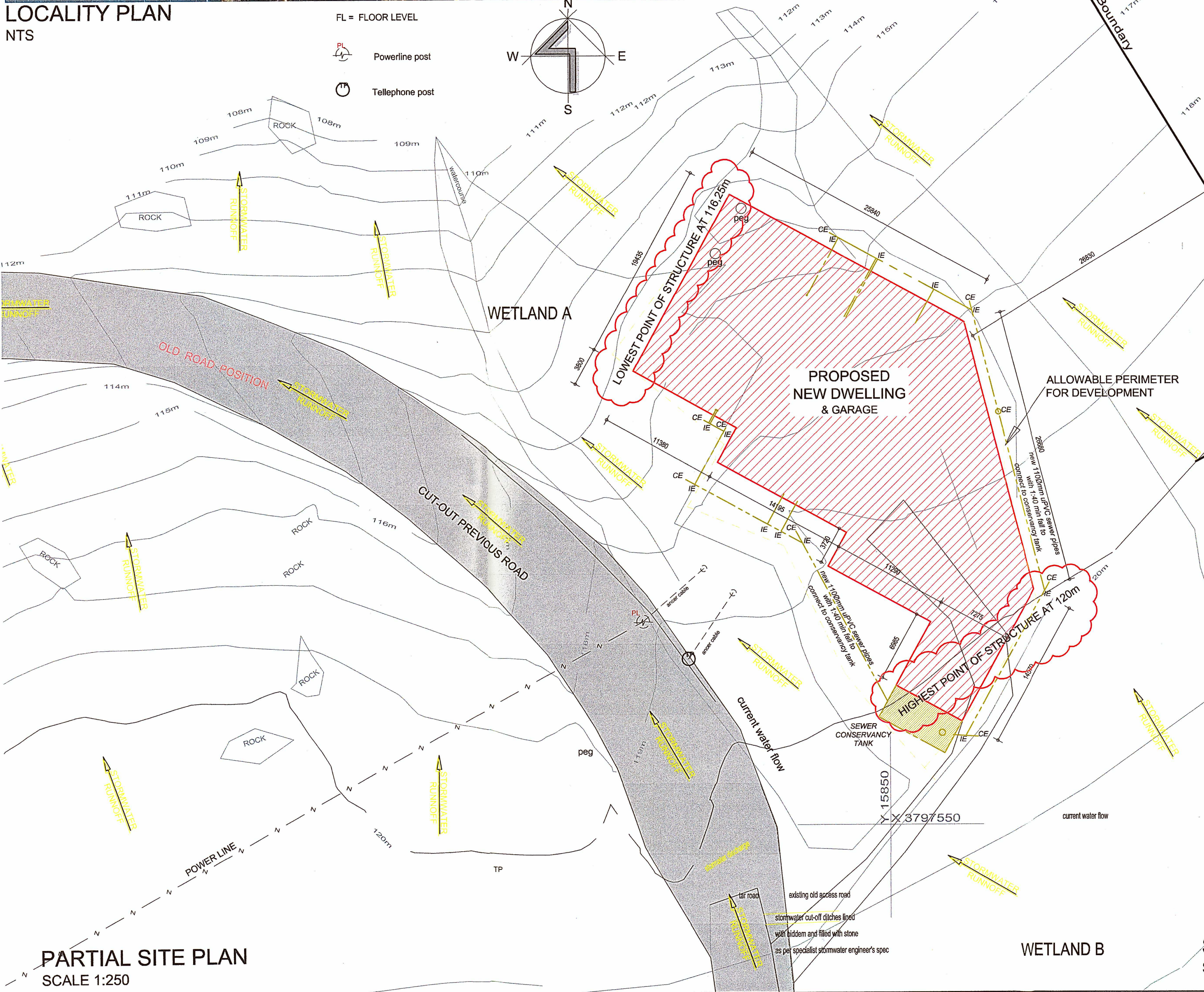
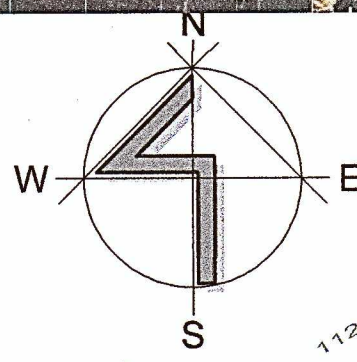


LOCALITY PLAN
NTS

FL = FLOOR LEVEL

Powerline post

Telephone post



PARTIAL SITE PLAN
SCALE 1:250

SITE PLAN
SCALE 1:2 500

TENANT/OWNER SIGNATURE

ARCHITECT SIGNATURE

Occupation Certificate Conditions:
① Provide height certificate on completion.
② Resubmit site plan for DEAP confirmation

E & E DESIGN CONSULTANCY
architects interior designs
landscape designers
435 Atterbury Road
Menlo Park
Pretoria
Mobile 082 563 7269
SENIOR ARCHITECTURAL TECHNOLOGIST
DONOVAN MARK JAGGER
PRN: ST1317

REVISIONS	
SUFFIX	REVISION DETAILS
A	2024-08-09 FOR COUNCIL APPROVAL
B	2024-09-06 REVISED AS INDICATED
C	2024-09-18 REVISED AS INDICATED

CIRCULATION	
Road Agency	Date: / /
Water	Date: / /
City Parks & Conservation	Date: / /
City Power	Date: / /
Fire Department	Date: / /
Land Use Management	Date: / /
Philips	Date: / /
Environmental Management	Date: / /
Transportation	Date: / /
Environmental Health	Date: / /
City Engineer or any other relevant	Date: / /
Building Control	Date: / /

FOR COUNCIL APPROVAL

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NORTH POINT
GENERAL NOTES:
ALL WORK TO BE STRICTLY IN ACCORDANCE WITH THE 'NATIONAL BUILDING REGULATIONS' AND THE SABS O400 MINIMUM STANDARD SPECIFICATIONS. ALL DIMENSIONS TO BE CHECKED ON SITE AND ANY DISCREPANCIES TO BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF WORKS.

CLIENT:
FOR FYNBOS ROOI ELS PTY LTD

PROJECT NAME:
PROPOSED DEVELOPMENT OF DWELLING & GARAGE
ON
PORTION 134 (A PORTION OF PORTION 133) OF THE FARM HANGKLIP NO.559 ROOI-ELS

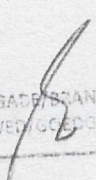
DRAWING TITLE:
SITE AND LOCALITY PLANS

CLIENT PROJECT NUMBER:
1186
PROJECT NUMBER: **1186-001** CAD FILE NAME:
DRAWING NUMBER: **1186-001-200** REVISION: **C**
SCALE: AS SHOWN DRAWN: JEPVS/AJOJE CHECKED: DATE: 2024-09-18 PAGE: 1

Please note: MUN approval was granted for a larger garage than what is currently planned and applied for

Other (Such as ESK or any other if the Building Control Officer is not satisfied)	
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ALLOWABLE BUILDING AREA: 800m ²
AREA: GROUND FLOOR HOUSE : 216m ²
FIRST FLOOR HOUSE: 396m ² PATIO: 103m ² STAFF RM: 62m ² TOTAL: 777m ²
GARAGE: 692m ²

MUNICIPALITY OF OVERSTRAND MUNICIPALITY
PO Box 20 HELMARUS 7200
Tel: 021 213 7100 Fax: 021 213 1400
Date: 03 OCT 2024
FIRE BRIGADE SANDWEEF APPROVED: 

OVERSTRAND MUNICIPALITY

Building Plan No. 17859 is recommended for approval in terms of the National Building Regulations and Building Standards Act No. 103 of 1977 and all other applicable law by the Building Control Officer:

Date: 23 OCT 2024

Approved in terms of the National Building Regulations and Building Standards Act No. 103 of 1977