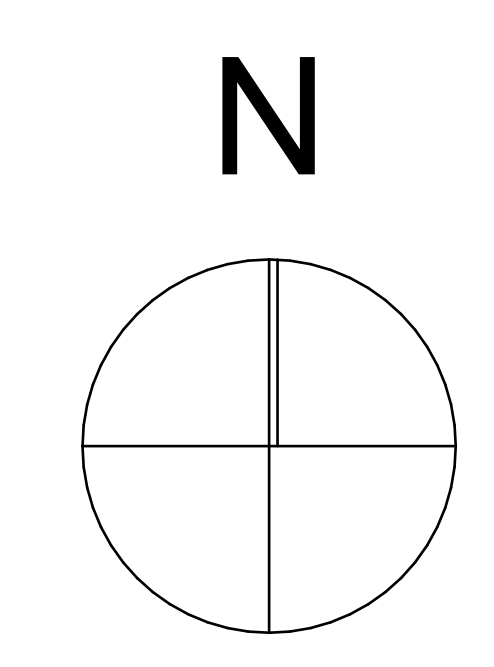


SITE DEVELOPMENT PLAN
Scale 1:500

- Coastal Low Risk Zone
- Coastal Medium Risk Zone
- Coastal High Risk Zone
- Limestone Fynbos Conservation area (no - go area)
- 40m Ecological corridor (no-go area)

- Boundary line
- Proposed Pipeline
- Existing Borehole & Pipeline
- 8m Heritage Setback Line
- Coastal Management Line



- GENERAL NOTES:
- The design of the drawing is copyright and remains the property of IG Architects.
 - All work is to be carried out strictly in accordance with the National Building Regulations and Municipal Regulations.
 - Only figured dimensions to be used, do not scale.
 - The contractor and sub-contractors are to check all relevant details, levels and dimensions on site and in the contract documents prior to commencement of work on site or manufacture of any components. Any queries or discrepancies are to be reported timeously to Architects, in writing.
 - Setting out positions as per architects' drawings to be certified by a registered land surveyor prior to the commencement of any works.
 - Any materials, fittings, furnishings, etc. described under a tradename, catalogue number or reference are to be either exactly as described or are to be, in the Architects sole opinion, of equal quality and specification in all respects, as those described. The Architects' approval must be obtained in writing for departure from the original description before submission of tenders, or before manufacturing and/or building in.
 - All materials are to be laid, lapped, sealed, fixed, etc. in strict accordance with the manufacturer's instructions. All sealing, cements, glues, fasteners, etc. are to be those supplied or recommended by the manufacturers' of the particular material.
 - All jolting before and after all other trades to be performed neatly and with care, leaving all perfect.
 - Clean and/or wash all floors and surfaces upon completion. Clean out all shavings, cuttings and other rubbish before handing over.
 - Service all doors and moving parts before handing over.
 - All dimensions and levels to be checked on site prior to commencement of work. Any queries to be forwarded timeously to the architect.

SIGNATURE:		DATE:
CLIENT:		
ARCHITECT:		
DESCRIPTION:		DATE:
TOWN PLANNER:		REV:

GOSZTOLA ARCHITECTS	
JOB NO: 5005	
PROJECT: Cape Infanta New Housing Development Portion of Erf 134 Situatued at Cape Infanta	
DESCRIPTION Proposed Sub- division layout	
SCALES: 1:750	
PURPOSE: Information	
DRAWN: KH	CHECKED: IG
DATE CREATED: 2021/08/11	
DATE PLOT: 2022/07/01	
ISSUED: 2022/07/01	
DWG NO: Diagram 29	
REVISION:	