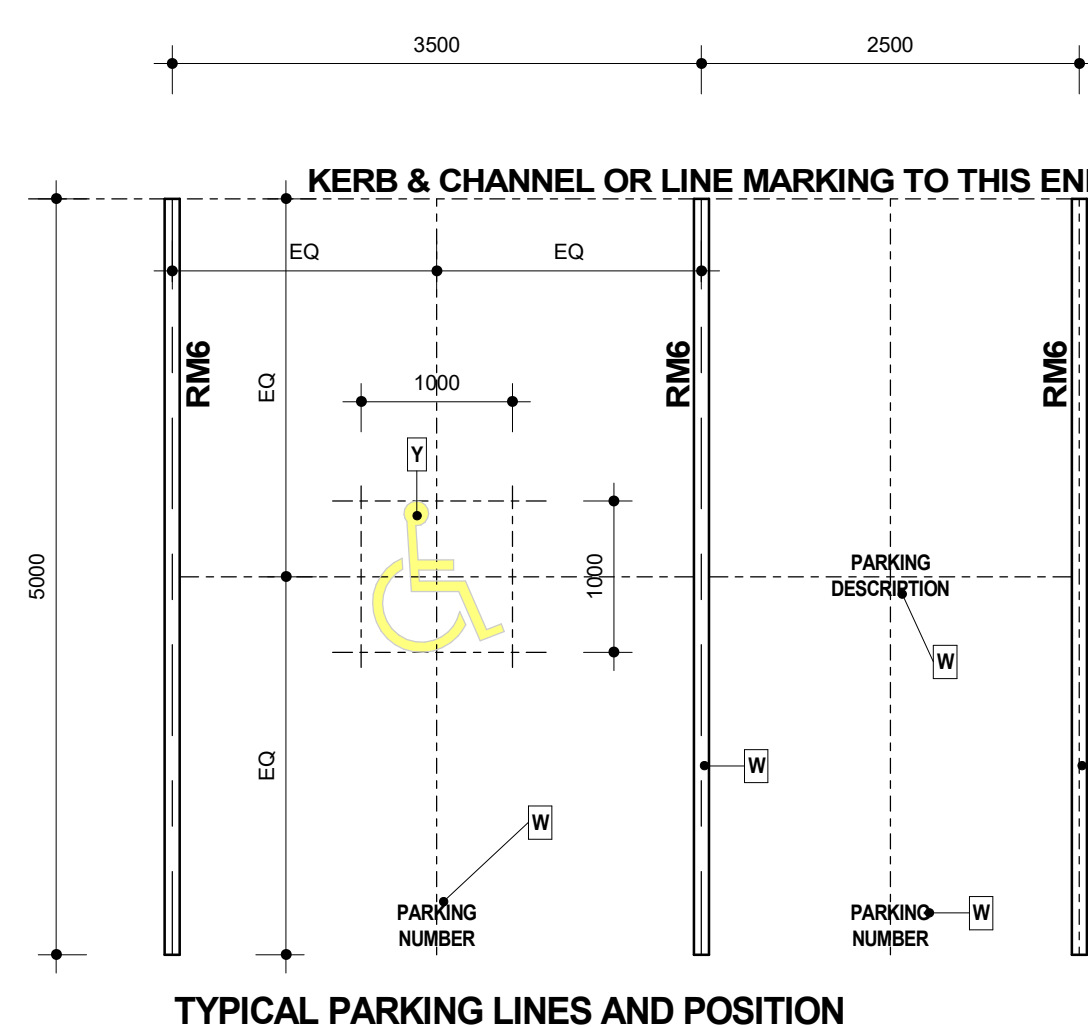
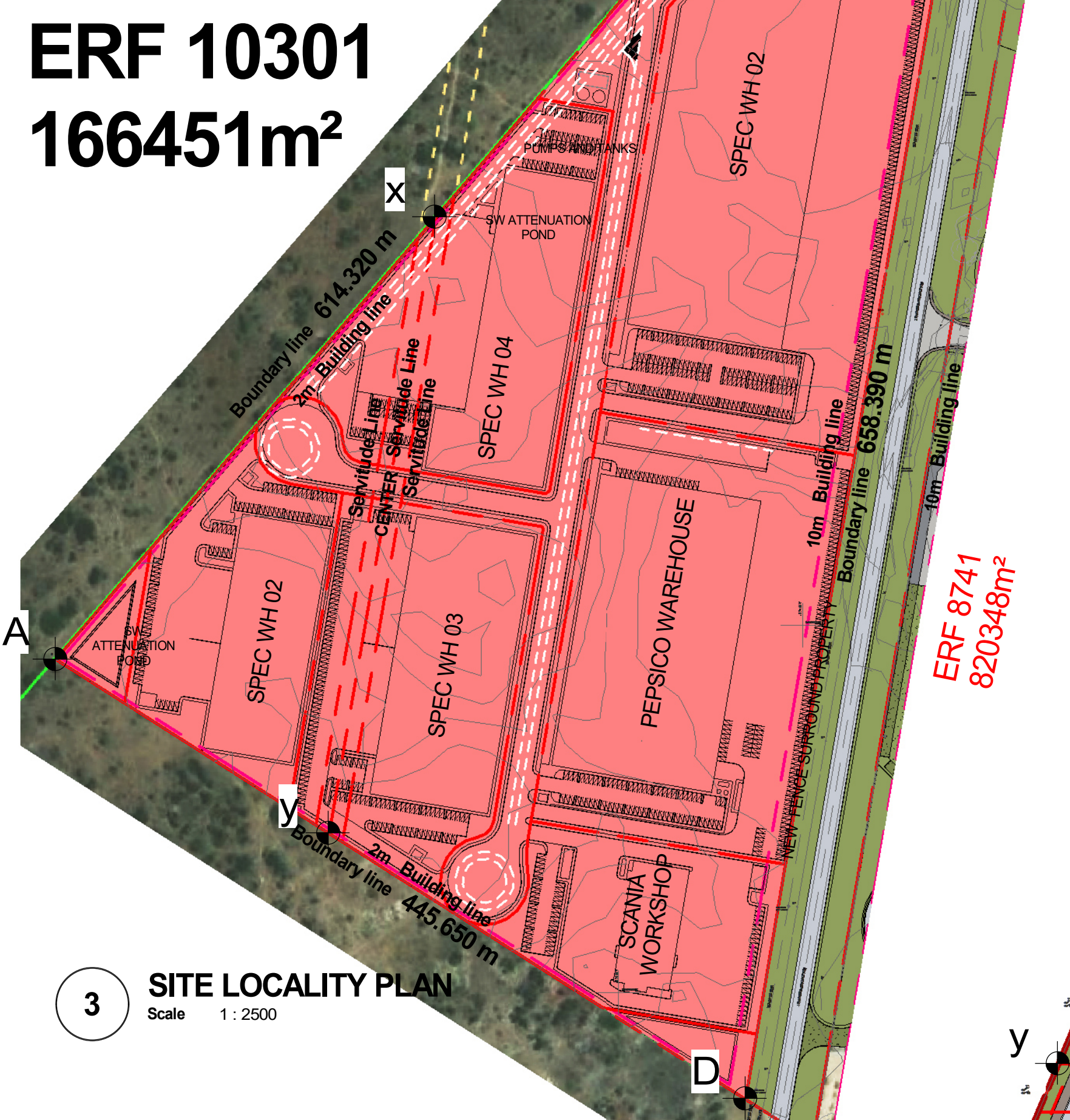


ERF 10301
166451m²

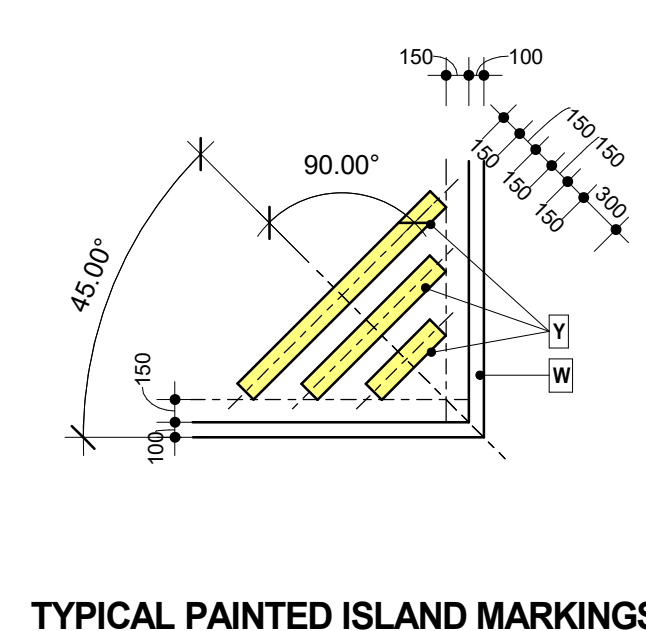
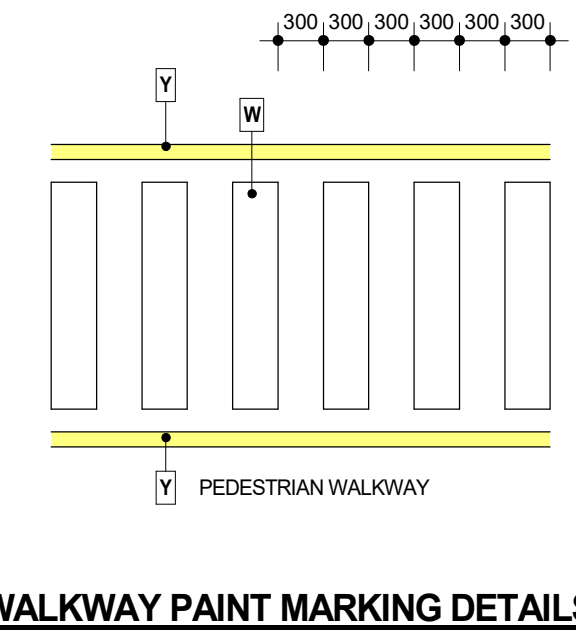


NOTE :

- ALL TRAFFIC SIGNS AND ROADMARKINGS TO COMPLY WITH SARTSM AND APPLICABLE ROAD TRAFFIC REGULATION (ACT 93 OF 1996)

NOTES ON ROADMARKINGS PAINT:

- PAINT MUST COMPLY WITH SABS 731.
- PAINT CONTAINER MUST HAVE A SABS MARK OF APPROVAL.
- THE WORDS "ROAD MARKING PAINT" MUST BE PRESENT ON THE CONTAINER.
- APPLICATION - 0.42 l/sqm.
- ROAD MARKINGS AROUND ANY COLUMNS OR SIGNPOSTS TO BE OFFSE.



LEGEND :

- YELLOW PAINT MARKINGS
- WHITE PAINT MARKINGS
- YELLOW PAINT MARKINGS
- WHITE PAINT MARKINGS

BIKE SYMBOL

LOW EMISSION

BIKE PARKING

Sides		Angles of Direction		COORDINATES		S.G. No. 770023	
				System WGS 84			
Convergency		+5.001		+35.00		Approved	
AB	614.50	203 37 46	A	56953.20	37430.18		
BC	102.00	203 19 40	B	57066.92	374562.61		
CA	616.99	8 36 39	C	57170.91	374250.08	for	
DA	448.06	32 29 14	D	47066.11	374730.91	Employer General	
(4361 ALCEOS 14251 NORMANS HELVE)				A	57760.82	374244.54	
				A	56641.80	374375.24	

Beacon description:

Shore top survey point, fluorescent black disk
 O - 15mm iron peg
 A - other beacons are 12cm iron peg

Remarks:

The line y represents the middle of a 15.74m
 Electric Powerline fortitude side S.G. No. 00017949



Scale: 1:7500

The figure ABCD represents 16,461 hectares of land, being:

REF 100105 (OFFICE OF REF TITLES STATE

State in the Nation Macedonia Bay Metropolitan Municipality
 Administrative District of Shantlage
 Province of the Eastern Cape
 Issued in July 2017 by me:



J.A. Kotter (C/L 19952)
 Professional Land Surveyor

This diagram is submitted to
 S.O. No. 44002010

dated
 Annulled to Date of Transfer
 No. 37/2003011

Rev. of Draft

C/LP 07002102

SCHEDULE OF RIGHTS

USE ZONE INDUSTRIAL 1	OFFICE (G1)		
	WAREHOUSE (J2)		
SITE AREA	166451 m²		
BULK AREA	63938 m²		
DENSITY ZONE	N/A		
BUILDING LINES	6	m along street boundaries	
	16	m R21 EXPRESS	
	30	R21 NATIONAL ROUTE	
	N/A	m along	
HEIGHT ZONE	21	m	
	3	storeys	
COVERAGE	PERMISSIBLE		ACTUAL
	100 %	166451 m²	43.07 % 71697 m²
F.A.R.	0.7	116515.7 m²	0.387 64378 m²
F.S.R.	ratio	0	0 m²
		0 m²	0 m²
HEIGHT	3		2
	storeys		storeys
FAR			COV
	WAREHOUSE	OFFICES	TOTAL
SCANIA	1958	141	2099
PERSCO	14787	1280	16067
SPEC WH 01	17686	1230	19116
SPEC WH 02	5905	879	6784
SPEC WH 03	9403	1161	10564
SPEC WH 04	8411	1161	9572
GH	200	0	200
PUMP HOUSE	118	0	118
PRECINCT GH	58	0	58
TOTAL		64378	71697
PARKING RATIO	bays per 100		bays required
	0	4	5852
OFFICE (G1)		0	234.08
WAREHOUSE (J2)		1	58150
		0	0
		0	0
		0	0
PARKING	REQUIRED		PROVIDED
	815.58	bays	806

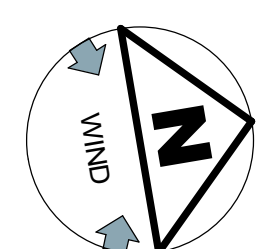
GENERAL NOTES:

ALL WORKS TO COMPLY WITH SANS 10400 OR BY RATIONAL APPROVED DESIGN TO COMPLY WITH FOLLOWING GUIDELINES

- A: Structural Design SANS 10400-B, Structural design of buildings
- B: Occupational Safety and Health Act, 1993
- C: Public Safety SANS 10400-D, Public safety
- F: Site Operations SANS 10400-F, Site operations
- G: Electrical SANS 10400-G, Electrical
- H: Foundations SANS 10400-H, Foundations
- J: Floors SANS 10400-J, Floors
- K: Walls SANS 10400-K, Walls
- L: Roofs SANS 10400-L, Roofs
- M: Stairways SANS 10400-M, Stairways
- N: Glass SANS 10400-N, Glass
- O: Lighting and Ventilation SANS 10400-O, Lighting and ventilation
- P: Drainage SANS 10400-P, Drainage
- Q: Non-water-borne Means of Sanitary Disposal
- S: SANS 10400-Q, Non-water-borne means of sanitary disposal
- R: Stormwater Disposal SANS 10400-R, Stormwater disposal
- S: Facilities for Persons with Disabilities SANS 10400-S, Facilities for persons with disabilities
- T: Fire Protection SANS 10400-T, Fire protection
- U: Space Heating SANS 10400-U, Space heating
- W: Fire Installation SANS 10400-W, Fire installation

ERF 10301
166448 m²

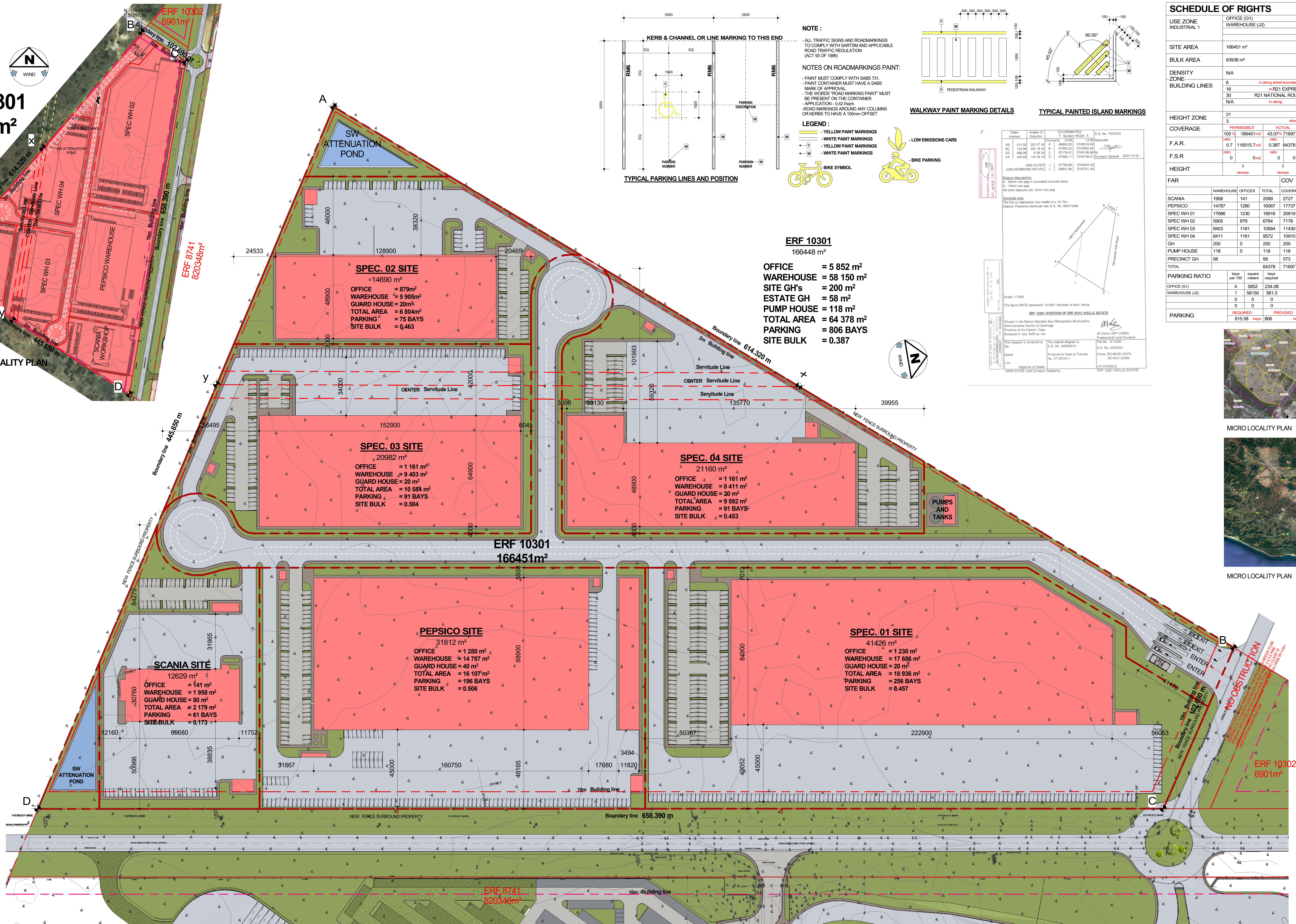
OFFICE	= 5 852 m ²
WAREHOUSE	= 58 150 m ²
SITE GH's	= 200 m ²
ESTATE GH	= 58 m ²
PUMP HOUSE	= 118 m ²
TOTAL AREA	= 64 378 m ²
PARKING	= 806 BAYS
SITE BULK	= 0.387



MICRO LOCALITY PLAN



MICRO LOCALITY PLAN



C	2025.07.22	AM	ISSUED FOR INFORMATION
B	2025.07.15	SM	ISSUED FOR GDP SUBMISSION
A	2025.06.12	SM	ISSUED FOR GDP SUBMISSION
revision	date	drawn	description

empoweredspaces
architects
tel: 011 800 836076 fax: 090 632 8181 16 Holt Street, Glenadrienne

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Drawings not to be scaled, report any discrepancies to architect before construction or manufacturing

client
EQUITES

signature
project PROPOSED NEW INDUSTRIAL PARK

stand number
ERF 10301, WELLS ESTATE SOUTH,

engineer
contact

signature	
project architect	Terence Shacklady
contact	terence@espaces.co.za

signature

drawing description
SITE PLAN

job number	drawing number

P039		SDP-0000
AO	drawn	HS

AU	scale	As indicated
	date	2025.06.03
revision number	issued for	

C INFORMATION

