

SITE NOTICES:



Figure 1: Aerial image showing the position of the English site notice placed along the northern boundary (M Kaulela Street) and the Xhosa site notice placed along the south eastern boundary (Grahamstown Road).



Figure 2: Showing the English notice attached to the fence along the northern boundary.



Figure 3: Showing the English notice attached to the fence along the northern boundary.

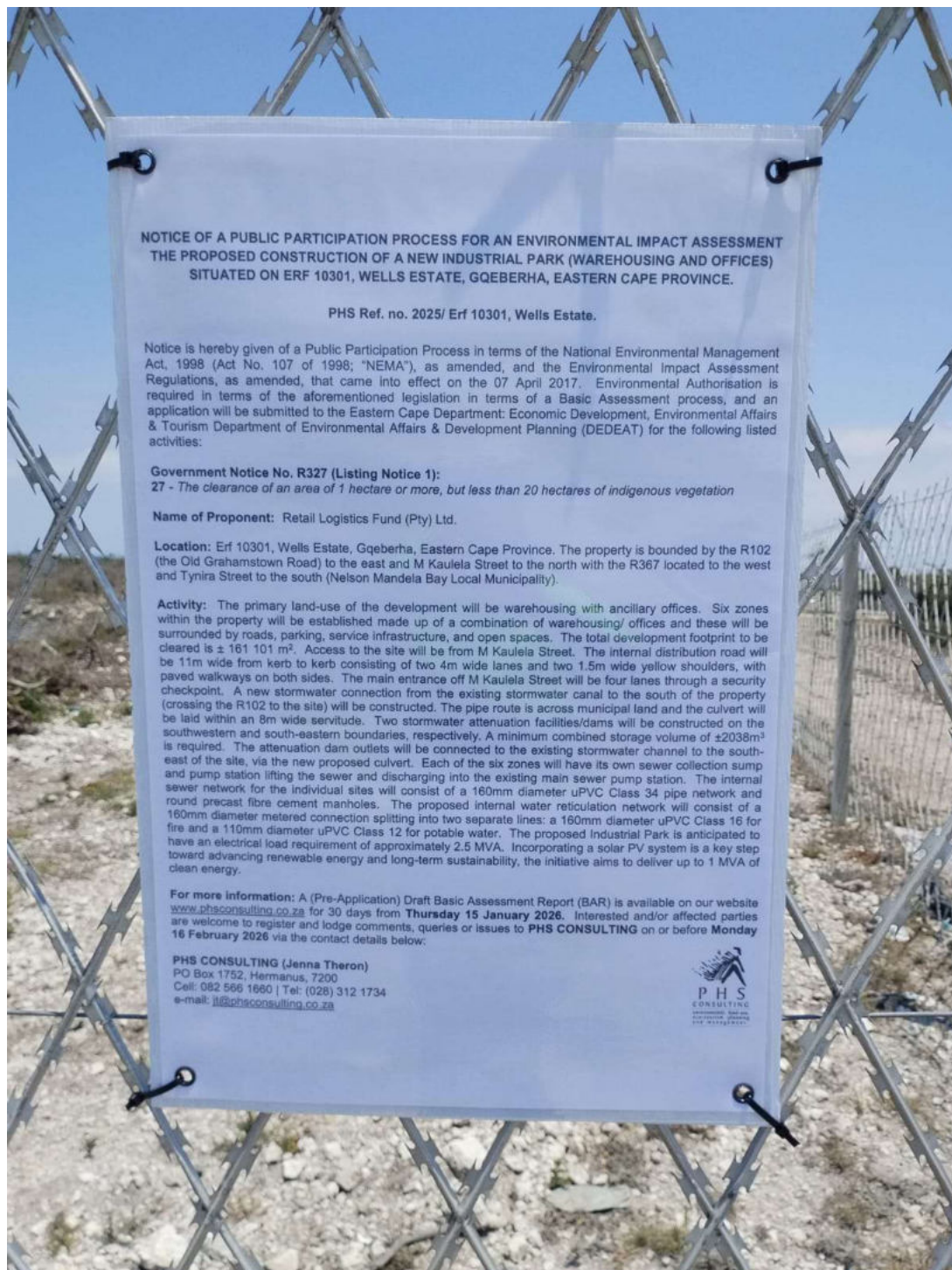


Figure 4: Showing a close up of the English notice attached to the fence along the northern boundary.

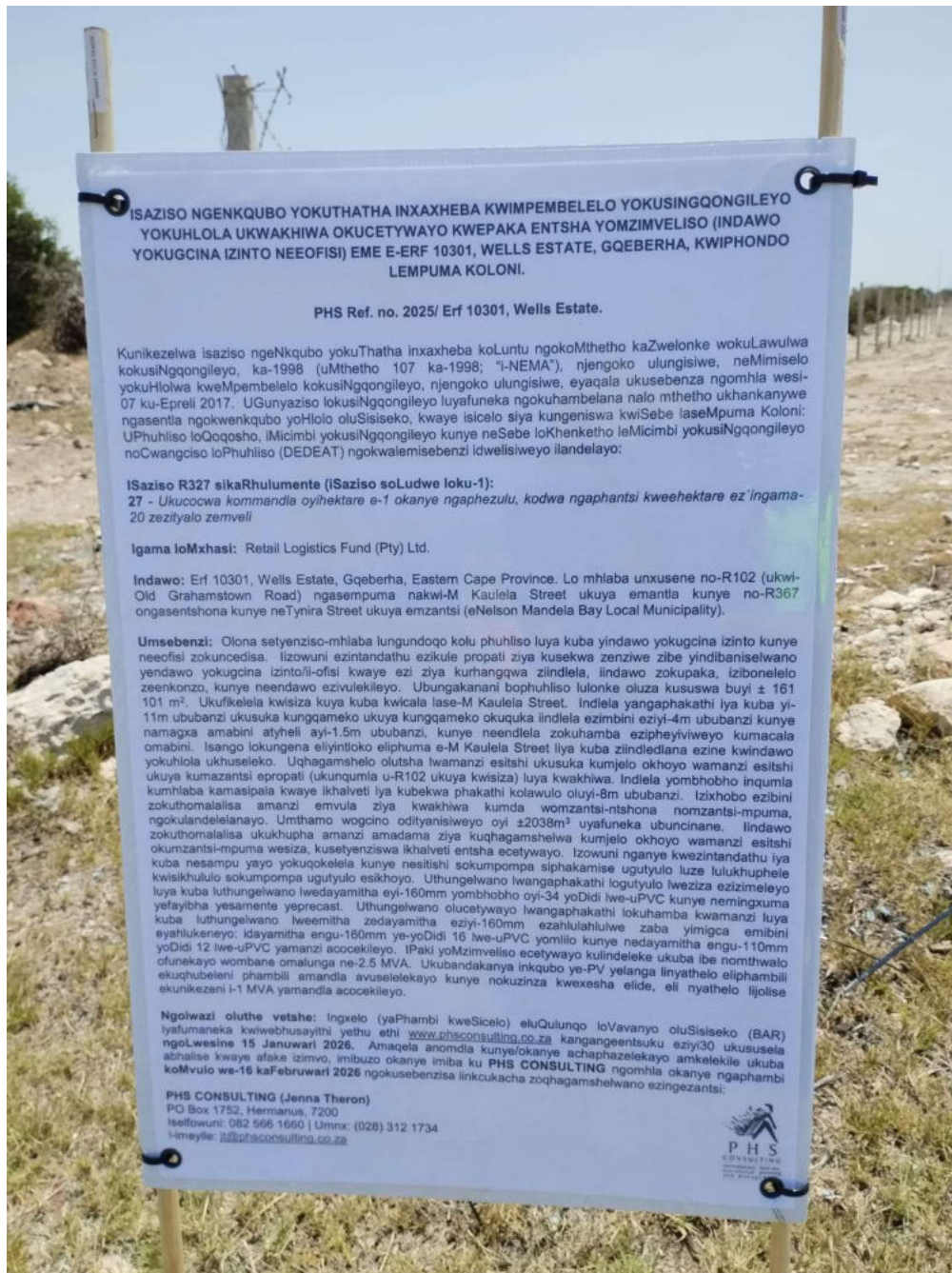


Figure 5: Showing a close up of the Xhosa notice erected along the south-eastern boundary.



Figure 6: Showing the Xhosa notice erected along the south-eastern boundary.



Figure 7: Showing the Xhosa notice erected along the south-eastern boundary looking towards the informal settlement.

**NOTICE OF A PUBLIC PARTICIPATION PROCESS FOR AN ENVIRONMENTAL IMPACT ASSESSMENT
THE PROPOSED CONSTRUCTION OF A NEW INDUSTRIAL PARK (WAREHOUSING AND OFFICES)
SITUATED ON ERF 10301, WELLS ESTATE, GQEBERHA, EASTERN CAPE PROVINCE.**

PHS Ref. no. 2025/ Erf 10301, Wells Estate.

Notice is hereby given of a Public Participation Process in terms of the National Environmental Management Act, 1998 (Act No. 107 of 1998; "NEMA"), as amended, and the Environmental Impact Assessment Regulations, as amended, that came into effect on the 07 April 2017. Environmental Authorisation is required in terms of the aforementioned legislation in terms of a Basic Assessment process, and an application will be submitted to the Eastern Cape Department: Economic Development, Environmental Affairs & Tourism (DEDEAT) for the following listed activities:

Government Notice No. R327 (Listing Notice 1):

27 - The clearance of an area of 1 hectare or more, but less than 20 hectares of indigenous vegetation

Name of Proponent: Retail Logistics Fund (Pty) Ltd.

Location: Erf 10301, Wells Estate, Gqeberha, Eastern Cape Province. The property is bounded by the R102 (the Old Grahamstown Road) to the east and M Kaulela Street to the north with the R367 located to the west and Tynira Street to the south (Nelson Mandela Bay Local Municipality).

Activity: The primary land-use of the development will be warehousing with ancillary offices. Six zones within the property will be established made up of a combination of warehousing/ offices and these will be surrounded by roads, parking, service infrastructure, and open spaces. The total development footprint to be cleared is $\pm 161\,101\text{ m}^2$. Access to the site will be from M Kaulela Street. The internal distribution road will be 11m wide from kerb to kerb consisting of two 4m wide lanes and two 1.5m wide yellow shoulders, with paved walkways on both sides. The main entrance off M Kaulela Street will be four lanes through a security checkpoint. A new stormwater connection from the existing stormwater canal to the south of the property (crossing the R102 to the site) will be constructed. The pipe route is across municipal land and the culvert will be laid within an 8m wide servitude. Two stormwater attenuation facilities/dams will be constructed on the southwestern and south-eastern boundaries, respectively. A minimum combined storage volume of $\pm 2038\text{ m}^3$ is required. The attenuation dam outlets will be connected to the existing stormwater channel to the south-east of the site, via the new proposed culvert. Each of the six zones will have its own sewer collection sump and pump station lifting the sewer and discharging into the existing main sewer pump station. The internal sewer network for the individual sites will consist of a 160mm diameter uPVC Class 34 pipe network and round precast fibre cement manholes. The proposed internal water reticulation network will consist of a 160mm diameter metered connection splitting into two separate lines: a 160mm diameter uPVC Class 16 for fire and a 110mm diameter uPVC Class 12 for potable water. The proposed Industrial Park is anticipated to have an electrical load requirement of approximately 2.5 MVA. Incorporating a solar PV system is a key step toward advancing renewable energy and long-term sustainability, the initiative aims to deliver up to 1 MVA of clean energy.

For more information: A (Pre-Application) Draft Basic Assessment Report (BAR) is available on our website www.phsconsulting.co.za for 30 days from **Thursday 15 January 2026**. Interested and/or affected parties are welcome to register and lodge comments, queries or issues to **PHS CONSULTING** on or before **Monday 16 February 2026** via the contact details below:

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ISAZISO NGENKQUBO YOKUTHATHA INXAXHEBA KWIMPEMBELELO YOKUSINGQONGILEYO YOKUHLOLA UKWAKHIWA OKUCETYWAYO KWEPAKA ENTSHA YOMZIMVELISO (INDAWO YOKUGCINA IZINTO NEEOFISI) EME E-ERF 10301, WELLS ESTATE, GQEBERHA, KWIPHONDO LEMPUMA KOLONI.

PHS Ref. no. 2025/ Erf 10301, Wells Estate.

Kunikezelwa isaziso ngeNkqubo yokuThatha inxaxheba koLuntu ngokoMthetho kaZwelonke wokuLawulwa kokusiNgqongileyo, ka-1998 (uMthetho 107 ka-1998; "i-NEMA"), njengoko ulungisiwe, neMimiselo yokuHlolwa kweMpembelelo kokusiNgqongileyo, njengoko ulungisiwe, eyaqala ukusebenza ngomhla wesi-07 ku-Epreli 2017. UGunyaziso lokusiNgqongileyo luyafuneka ngokuhambelana nalo mthetho ukhankanywe ngasentla ngokwenkqubo yoHlolo oluSisiseko, kwaye isicelo siya kungeniswa kwiSebe laseMpuma Koloni: UPuhliso loQoqosho, iMicimbi yokusiNgqongileyo kunye neSebe loKhenketho leMicimbi yokusiNgqongileyo noCwangciso loPuhliso (DEDEAT) ngokwalemisebenzi idwelisiweyo ilandelayo:

ISaziso R327 sikaRhulumente (iSaziso soLudwe loku-1):

27 - Ukucocwa kommandla oyihektare e-1 okanye ngaphezulu, kodwa ngaphantsi kwehektare ez'ingama-20 zezityalo zemveli

Igama loMxhasi: Retail Logistics Fund (Pty) Ltd.

Indawo: Erf 10301, Wells Estate, Gqeberha, Eastern Cape Province. Lo mhlaba unxusene no-R102 (ukwi-Old Grahamstown Road) ngasempuma nakwi-M Kaulela Street ukuya emantla kunye no-R367 ongasentshona kunye neTynira Street ukuya emzantsi (eNelson Mandela Bay Local Municipality).

Umsebenzi: Olona setyenziso-mhlaba lungundoqo kolu phuhliso luya kuba yindawo yokugcina izinto kunye neeofisi zokuncedisa. Iizowuni ezintandathu ezikule propati ziya kusekwa zenziwe zibe yindibaniselwano yendawo yokugcina izinto/ii-ofisi kwaye ezi ziya kurhangqwa ziindlela, iindawo zokupaka, izibonelelo zeenkonzo, kunye neendawo ezivulekileyo. Ubungakanani bophuhliso lulonke oluza kususwa buyi $\pm 161\,101\text{ m}^2$. Ukufikelela kwisiza kuya kuba kwicala lase-M Kaulela Street. Indlela yangaphakathi iya kuba yi-11m ububanzi ukusuka kungqameko ukuya kungqameko okuquka iindlela ezimbini eziyi-4m ububanzi kunye namagxa amabini atyheli ayi-1.5m ububanzi, kunye neendlela zokuhamba ezipheyiviweyo kumacala omabini. Isango lokungena eliyintloko eliphuma e-M Kaulela Street liya kuba ziindledlana ezine kwindawo yokuhlola ukhuseleko. Uqhagamshelo olutsha lwamanzi esitshi ukusuka kumjelo okhoyo wamanzi esitshi ukuya kumazantsi epropati (ukunqumla u-R102 ukuya kwisiza) luya kwakhiwa. Indlela yombhobho inqumla kumhlaba kamasipala kwaye ikhalveti iya kubekwa phakathi kolawulo oluyi-8m ububanzi. Izixhobo ezibini zokuthomalalisa amanzi emvula ziya kwakhiwa kumda womzantsi-ntshona nomzantsi-mpuma, ngokulandelelanayo. Umthamo wogcino odityanisiweyo oyi $\pm 2038\text{ m}^3$ uyafuneka ubuncinane. Iindawo zokuthomalalisa ukukhupha amanzi amadama ziya kuqhagamshelwa kumjelo okhoyo wamanzi esitshi okumzantsi-mpuma wesiza, kusetyenziswa ikhalveti entsha ecetywayo. Izowuni nganye kwezintandathu iya kuba nesampu yayo yokuqokelela kunye nesitishi sokumpompa siphakamise ugutyulo luze lulukhuphele kwisikhululo sokumpompa ugutyulo esikhoyo. Uthungelwano lwangaphakathi logutyulo lweziza ezizimeleyo luya kuba luthungelwano lwedayamitha eyi-160mm yombhobho oyi-34 yoDidi lwe-uPVC kunye nemingxuma yefayibha yesamente yeprecast. Uthungelwano olucetywayo lwangaphakathi lokuhamba kwamanzi luya kuba luthungelwano lweemitha zedayamitha eziyi-160mm ezahlulahlulwe zaba yimigca emibini eyahlukeneyo: idayamitha engu-160mm ye-yoDidi 16 lwe-uPVC yomlilo kunye nedayamitha engu-110mm yoDidi 12 lwe-uPVC yamanzi acocekileyo. IPaki yoMzimveliso ecetywayo kulindeleke ukuba ibe nomthwalo ofunekayo wombane omalunga ne-2.5 MVA. Ukubandakanya inkqubo ye-PV yelanga linyathelo eliphambili ekuqhubeleni phambili amandla avuselelekayo kunye nokuzinza kwexesha elide, eli nyathelo lijolise ekunikezeni i-1 MVA yamandla acocekileyo.

Ngolwazi oluthe vetshe: Ingxelo (yaPhambi kweSicelo) eluQulunqo loVavanyo oluSisiseko (BAR) iyafumaneka kwiwebhusayithi yethu ethi www.phsconsulting.co.za kangangeentsuku eziyi-30 ukususela ngoLwesine 15 Januwari 2026. Amaqela anomdla kunye/okanye achaphazelekayo amkelekile ukuba abhalise kwaye afake izimvo, imibuzo okanye imiba ku **PHS CONSULTING** ngomhla okanye ngaphambi koMvulo we-16 kaFebruwari 2026 ngokusebenzisa iinkcukacha zoqhagamshelwano ezingezantsi:

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