



MANDALAY SOCIAL HOUSING DEVELOPMENT PROJECT

Unregistered Erven 3303 and 3304, Mandalay (3909-P)

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ARCHITECTS
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TOWN PLANNING REPORT

1. SUBJECT PROPERTY DETAILS

The subject property is the unregistered Erven 3303 and 3304, Mandalay (a portion of the registered Erf 2939, Mandalay). The property ownership details of Erf 2939, Mandalay are:

ERF NO.	TITLE DEED NO.	OWNERSHIP	SIZE
Erf 2939, Mandalay	T21543/2014	Communicare NPC	23.0991ha

2. LOCALITY

The subject property is located on Stinkwood Road in Mandalay, at the Mandalay train station – see images below.



Figure 1: The registered Erf 2939, Mandalay



Figure 2: The unreg. Erven 3303 and 3304, Mandalay (a portion of Erf 2939)

3. ZONING AND LAND USE

The subject property is zoned General Residential 2 (GR2) for flats – see image below.

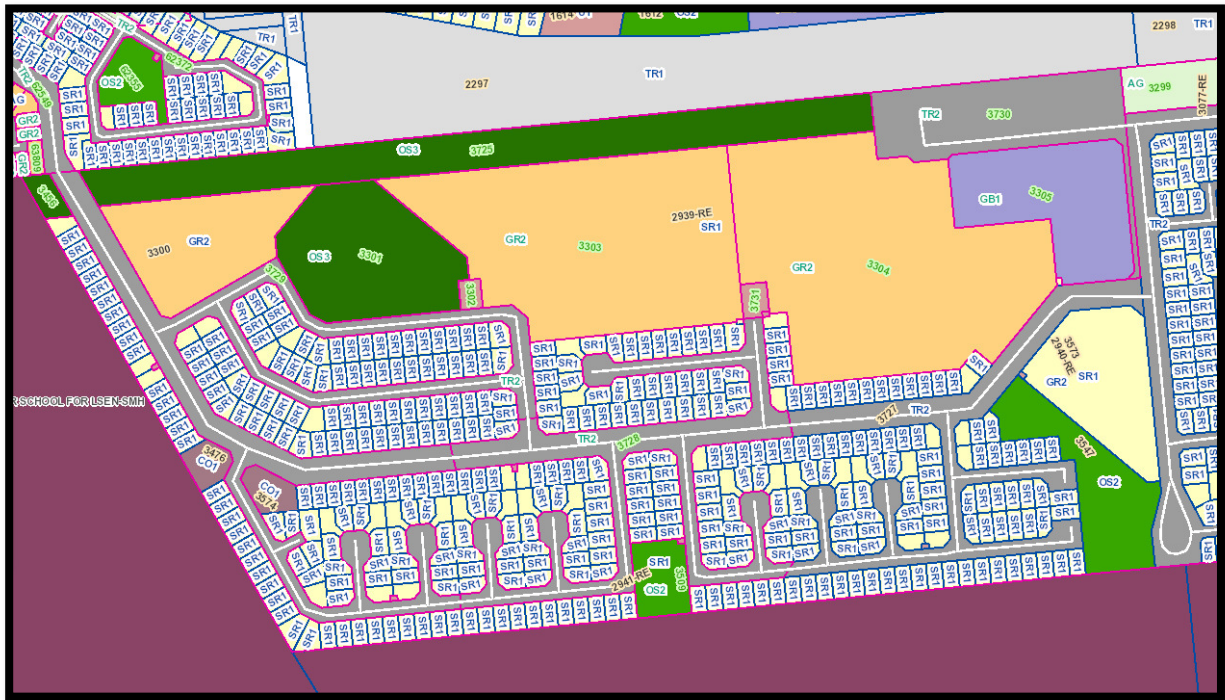


Figure 3: Extract of the City of Cape Town's zoning map

The subject property is currently vacant – see image below.



Figure 4: The subject property (vacant land)

4. SURROUNDING LAND USES

The subject property is located in a residential area. It is surrounded by (predominantly) affordable single residential dwellings and the Mandalay train

station – see images below.



Figure 5: The existing single residential dwellings



Figure 6: The Mandalay train station

5. DEVELOPMENT PROPOSAL

In 2012 the City of Cape Town approved the development of Erf 776, Mandalay which consisted *inter alia* of 405 single residential erven and 650 flats.

A Site Development Plan (SDP) was included in the original 2011 land use planning application submission. This 2011 SDP illustrated the development of the 650 flats (and how they were divided) – see image below.

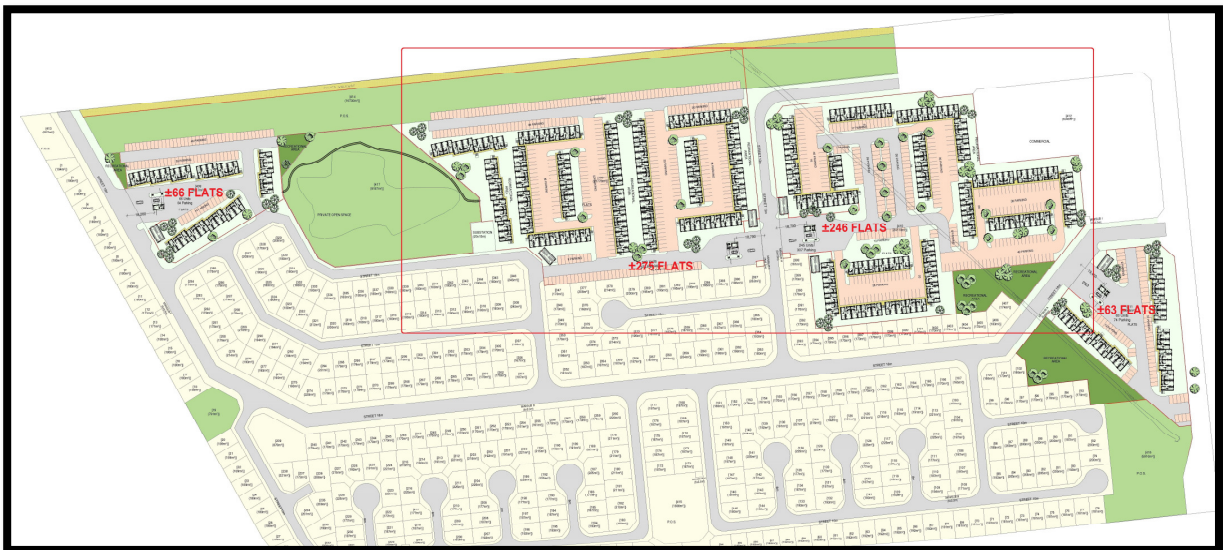


Figure 7: The SDP submitted to the City of Cape Town in 2011 illustrating the 650 flats

According to the 2011 SDP 521 flats were allocated to the subject property. Application is now made to increase the number of flats on the subject property from 521 to 770 flats – see image below.

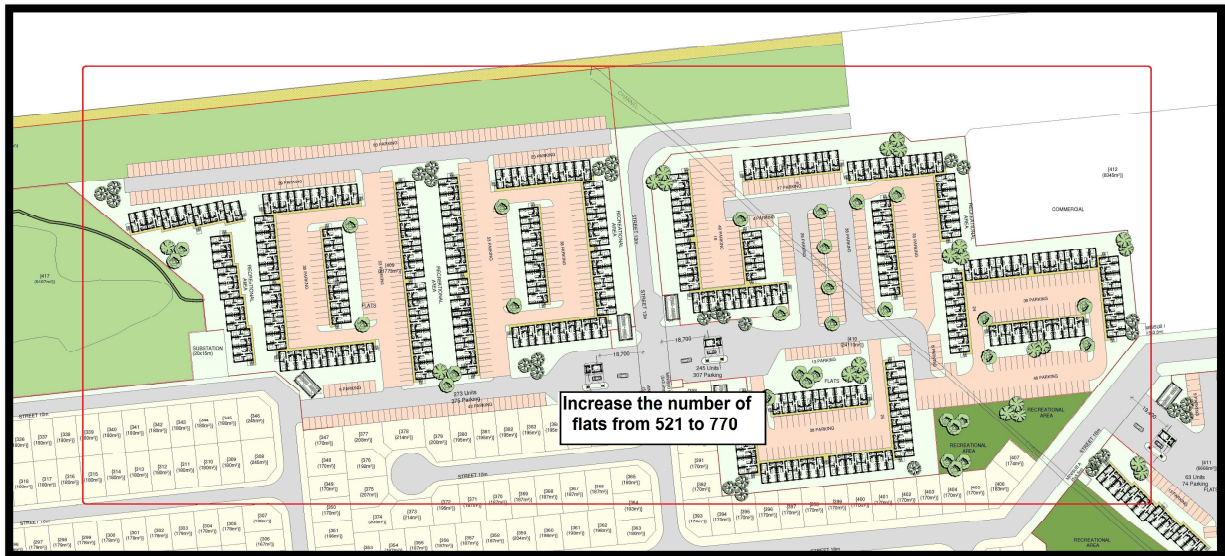


Figure 8: An insert of the 2011 SDP illustrating to additional flats

It was always the developer's intention to develop social housing apartments on the subject property and the amended development proposal still entails the development of social housing apartments (but now consisting of 770 flats in lieu of 521 flats) on the subject property.

In order to facilitate the proposed development project on the subject property, the following land use planning applications will have to be submitted to the City of Cape Town for their approval, namely:

- (i) Application is made i.t.o. Section 42(f) of the City of Cape Town Municipal Planning By-law, 2015 for the consolidation of the unregistered Erven 3304 and 3304, Mandalay.
- (ii) Application is made i.t.o. Section 42(m) of the City of Cape Town Municipal Planning By-law, 2015 for permission required i.t.o. the conditions of approval of an application; specifically, condition of approval no. 3 which states:
 3. That building plans submitted for the flats on General Residential sites shall be in accordance with the approved SDP.

For this reason, application is made for the approval of the Site Development Plan (SDP) for the consolidated erf.

- (iii) Application is made i.t.o. Section 42(j) of the City of Cape Town Municipal Planning By-law, 2015 for the amendment of condition of approval no. 16, which states:

Department: Transport

16. That the development shall be capped/restricted to Single Residential Erven - 405 units, General Residential Erven - 650 units and Commercial - 8345 m² GLA.

In order to increase the total number of flats from 650 – 899 units (only 770 flats will be developed on Erven 3304 and 3304, Mandalay).

Architects have prepared a detailed SDP clearly illustrating the details of the proposed development, development rules, access, parking, elevations, etc.

6. COMPLIANCE WITH THE CITY OF CAPE TOWN'S SPATIAL DEVELOPMENT FRAMEWORK

The subject property is located within the jurisdiction of the Khayelitsha / Mitchells Plain / Greater Blue Downs District Plan. According to the District Plan the subject property is located inside the urban edge and earmarked for urban developments. Furthermore, the provision of a range of new housing and job opportunities is an important principle of the District Plan, and the proposed development will support this principle.

7. CONCLUSION

We are of the opinion that the proposed development project will have a positive impact on the community and can be deemed desirable. It will provide 770 social housing opportunities and create many new employment opportunities in the construction sector.



CLIFFORD HEYS

PR. PLANNER (SA): A/1158/2000

